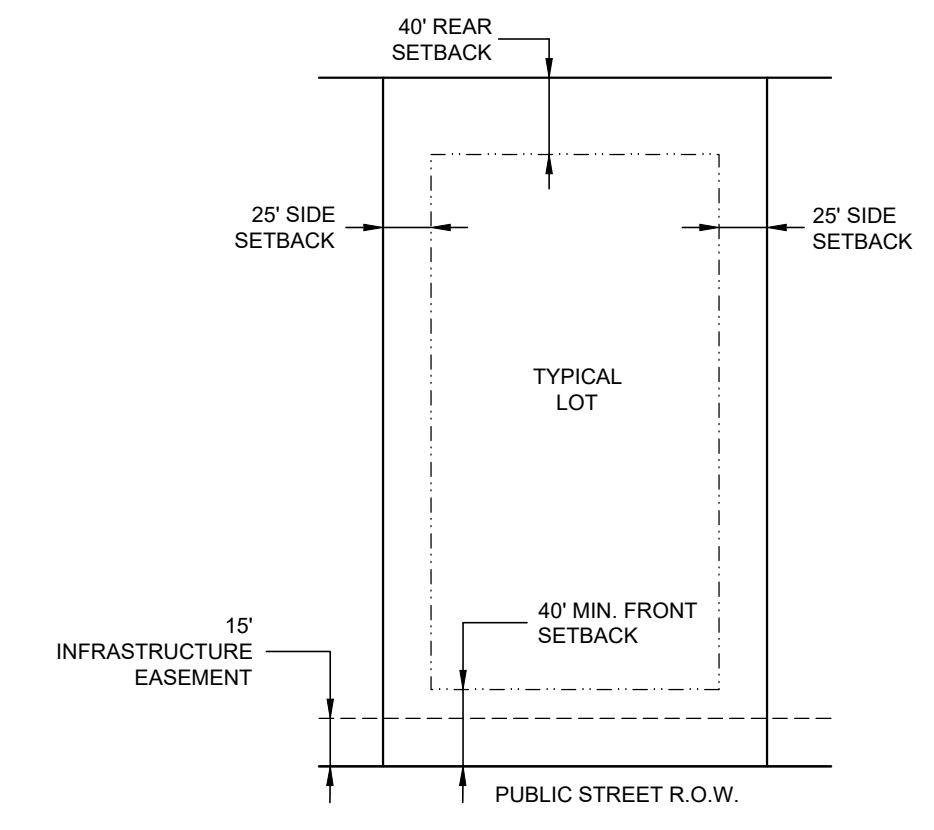


VICINITY MAP
1"=1000'

| Line | Bearing | Distance |
|------|-----------------|----------|
| L1 | S 73° 13' 22" E | 62.67' |

LEGEND

- PROPERTY LINE
- EXISTING RIGHT OF WAY
- EXISTING EASEMENT
- EXISTING ADJACENT PROPERTY LINE
- EXISTING LOT LINE
- PROPOSED LOT LINE



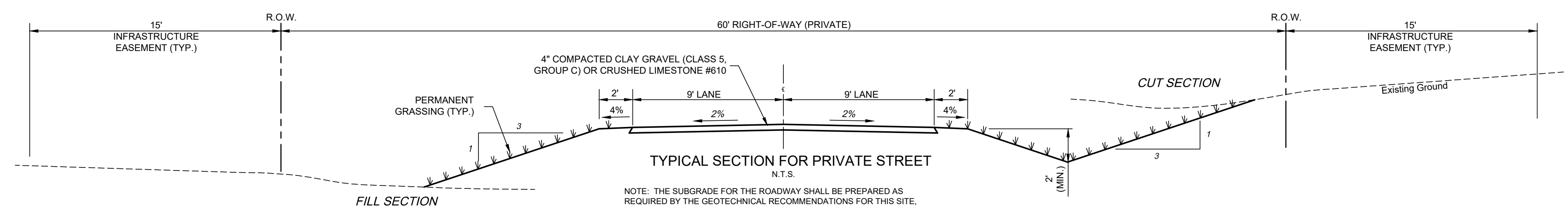
TYPICAL LOT DETAILS

GENERAL PROJECT INFORMATION & NOTES:

CURRENT ZONING - A-1, AGRICULTURAL DISTRICT
 TOTAL ACREAGE - ±69.01 AC
 TOTAL LOTS - 12
 AVERAGE LOT SIZE - 5.75± AC
 MINIMUM SETBACK REQUIREMENTS:
 FRONT - 40'
 SIDE - 25'
 REAR - 40'

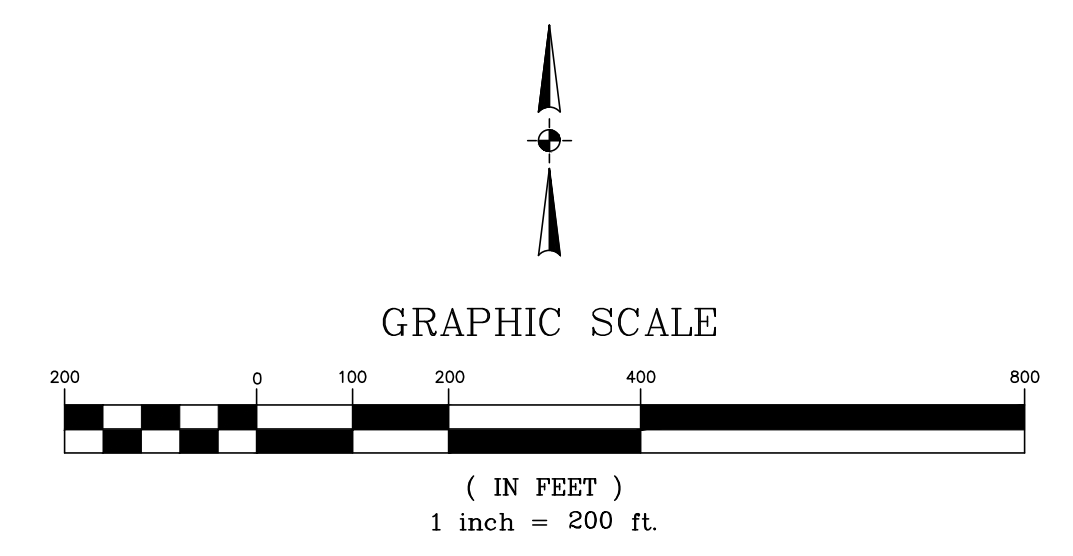
NOTES:

1. WATER SHALL BE PROVIDED BY CANTON MUNICIPAL UTILITY BUT BELONG TO BEAR CREEK WATER ASSOCIATION.
2. SANITARY SEWER SHALL BE INDIVIDUAL ON-SITE SEWER.
3. THIS PARCEL IS LOCATED IN FLOOD ZONE X ACCORDING TO FLOOD INSURANCE RATE MAP NOS. 28089C0395F & 28089C0415F, COMMUNITY PANEL NOS. 280228 0395 F & 280228 0415 F, EFFECTIVE DATE MARCH 17, 2010, EFFECTIVE DATE MARCH 17, 2010.
4. THIS PLAT IS PRELIMINARY AND NOT INTENDED TO BE A FINAL PLAT. LOT LINES ARE SUBJECT TO CHANGE PROVIDED MINIMUM REQUIREMENTS OR ORDINANCES ARE MET.
5. DATE OF FIELD SURVEY: 09/14/2023



TYPICAL SECTION FOR PRIVATE STREET
N.T.S.

NOTE: THE SUBGRADE FOR THE ROADWAY SHALL BE PREPARED AS REQUIRED BY THE GEOTECHNICAL RECOMMENDATIONS FOR THIS SITE.



BENCHMARK
ENGINEERING & SURVEYING, LLC
 CIVIL • STRUCTURAL • PLANNING • SURVEYING • UAV MAPPING
 BRANDON | FLOWOOD | MADISON
 www.benchmarkeng.com EST. 2004

REVISIONS:

| DATE | BY | REASON |
|---------|-----|----------------|
| 9-29-23 | GAB | SCALE: 1"=200' |
| | | REF C/L: |
| | | EG SURFACE: |
| | | FG SURFACE: |

PROJECT LOCATION:
 STOUT ROAD
 MADISON COUNTY, MS
 CLIENT:
 STOUT ROAD, LLC

PROJECT:
 THE MEADOWS AT STOUT FARMS, PART 4
 SHEET CONTENTS:
 PRELIMINARY PLAT

SHEET NUMBER
1 of 1
 PROJECT NUMBER
B-9507